

LEGAL DISCRIPTION AND PROOF OF OWNERSHIP

LEGAL DESCRIPTION

THAT PART OF THE NORTHWEST 1/4 OF SECTION 12, AND THAT PART OF THE SOUTHWEST 1/4 OF SECTION 1, TOWNSHIP 39 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER OF SAID SECTION 12; THENCE SOUTH 89 DEGREES 55 MINUTES WEST ALONG THE SOUTH LINE OF SAID NORTHWEST 1/4, 1132.57 FEET TO THE CENTER LINE OF KIRK ROAD; THENCE NORTH 7 DEGREES 58 MINUTES EAST ALONG SAID CENTER LINE 1924.68 FEET TO THE SOUTH LINE OF THE RIGHT OF WAY OF THE CHICAGO AND NORTHWESTERN RAILWAY AS A MONUMENT; THENCE CONTINUING NORTH 7 DEGREES 58 MINUTES EAST ALONG THE CENTER LINE OF SAID KIRK ROAD 452.41 FEET FOR A POINT OF BEGINNING; THENCE WESTERLY PARALLEL WITH SAID RAILWAY RIGHT OF WAY LINE 308.17 FEET; THENCE NORTH 7 DEGREES 58 MINUTES EAST PARALLEL WITH THE CENTER LINE OF SAID KIRK ROAD 440.48 FEET; THENCE EASTERLY AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE 305.0 FEET TO SAID CENTER LINE; THENCE SOUTH 7 DEGREES 58 MINUTES WEST ALONG SAID CENTER LINE 396.43 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF GENEVA, KANE COUNTY, ILLINOIS.

PIN: 12-12-126-003

2019K032117

SANDY WEGMAN
RECORDER - KANE COUNTY, IL
RECORDED: 7/23/2019 11:25 AM
REC FEE: 53.00 RHSPS: 9.00
STATE TAX: 310.00
COUNTY TAX: 155.00
PAGES: 3

Chicago Title Insurance Company

Dall 19HM834916796V

Warranty Deed
ILLINOIS STATUTORY

Chicago Title Insurance Co.
1795 W. State Street
Geneva, IL 60134

THE GRANTOR, Richard B. Porter and Mary Gerber Porter, as Co-Trustees of Richard B. Porter Trust dated June 15, 2018, for and in consideration of TEN & 00/100 DOLLARS, and other good and valuable consideration in hand paid, CONVEY(S) and Warrant(s) to Dara Properties, LLC, an Illinois limited liability company, all interest in the following described Real Estate situated in the County of Kane in the State of Illinois, to wit:

THAT PART OF THE NORTHWEST 1/4 OF SECTION 12, AND THAT PART OF THE SOUTHWEST 1/4 OF SECTION 1, TOWNSHIP 39 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER OF SAID SECTION 12; THENCE SOUTH 89 DEGREES 55 MINUTES WEST ALONG THE SOUTH LINE OF SAID NORTHWEST 1/4, 1132.57 FEET TO THE CENTER LINE OF KIRK ROAD; THENCE NORTH 7 DEGREES 58 MINUTES EAST ALONG SAID CENTER LINE 1924.68 FEET TO THE SOUTH LINE OF THE RIGHT OF WAY OF THE CHICAGO AND NORTHWESTERN RAILWAY AS A MONUMENT; THENCE CONTINUING NORTH 7 DEGREES 58 MINUTES EAST ALONG THE CENTER LINE OF SAID KIRK ROAD 452.41 FEET FOR A POINT OF BEGINNING; THENCE WESTERLY PARALLEL WITH SAID RAILWAY RIGHT OF WAY LINE 308.17 FEET; THENCE NORTH 7 DEGREES 58 MINUTES EAST PARALLEL WITH THE CENTER LINE OF SAID KIRK ROAD 440.48 FEET; THENCE EASTERLY AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE 305.0 FEET TO SAID CENTER LINE; THENCE SOUTH 7 DEGREES 58 MINUTES WEST ALONG SAID CENTER LINE 396.43 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF GENEVA, KANE COUNTY, ILLINOIS.


SUBJECT TO: (a) General real estate taxes for the year 2018 2nd installment and subsequent years; (b) covenants, conditions and restrictions of record; (c) building lines and easements, if any, so long as they do not interfere with the current use and enjoyment of the property

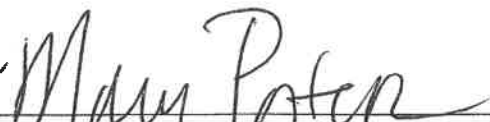
hereby releasing and waiving all rights under and by virtue of the Homestead Exemption Laws of the State of Illinois.

*763-1193, SE 111, Bensenville IL 60016
Permanent Real Estate Index Number(s): 12-12-126-003

Address of Real Estate: Approx 2.93 acres northwest corner of Reed Rd. & Old Kirk Rd., Geneva, IL 60134

Dated this 22ND day of July, 2019.


Richard B. Porter as Co-Trustee of Richard B. Porter Trust dated June 15, 2018


Mary Gerber Porter as Co-Trustee of Richard B. Porter Trust dated June 15, 2018

STATE OF ILLINOIS, COUNTY OF KANE ss.

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, CERTIFY THAT Richard B. Porter and Mary Gerber Porter, as Co-Trustees of Richard B. Porter Trust dated June 15, 2018, personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person, and acknowledged that they signed, sealed and delivered the said instrument as their free and voluntary act, for the uses and purposes therein set forth, including the release and waiver of the right of homestead.

Given under my hand and official seal, this 27 day of July, 2019.





(Notary Public)

Prepared By: Attorney John J Hoscheit
Hoscheit, McGuirk, McCracken & Cuscaden, P.C.
1001 E. Main Street, Suite G
St. Charles, Illinois 60174-2203

Mail To:
Attorney Gus P. Apostolopoulos
Lucas & Apostolopoulos, Ltd.
881 W. Lake Street
Addison, IL 60101

Name & Address of Taxpayer:
Grantee's Address:
Dara Properties, LLC
765 IL83, Suite 111
Bensenville, IL 60106

18-584

Sandy Wegman
Kane County Recorder
719 S. Batavia Avenue, Building C
Geneva, IL 60134
(630) 232-5935
Fax: 232-5945

PLAT ACT AFFIDAVIT – METES AND BOUNDS DESCRIPTION


Richard B. Porter, being duly sworn on oath, states that he/she resides at ,3104 Greenwood Lane, St. Charles, Illinois, and further states that: (please check the appropriate box)

- A. That the attached deed is not in violation of 765 ILCS 205/1(a), in that the sale or exchange is of an entire tract of land not being a part of a larger tract of land; or
- B. That the attached deed is not in violation of 765 ILCS 205/1(b) for one of the following reasons: (please circle the appropriate number)
1. The division or subdivision of land into parcels or tracts of 5 acres or more in size which does not involve any new streets or easements of access;
 2. The division of lots or blocks of less than 1 acre in any recorded subdivision which does not involve any new streets or easements of access;
 3. The sale or exchange of parcels of land between owners of adjoining and contiguous land;
 4. The conveyance of parcels of land or interests therein for use as right of way for railroads or other public utility facilities and other pipe lines which does not involve any new streets or easements of access;
 5. The conveyance of land owned by a railroad or other public purposes or grants or conveyances relating to the dedication of land for public use or instruments relating to the vacation of land impressed with a public use;
 6. The conveyance of land for highway or other public purposes or grants or conveyances relating to the dedication of land for public use or instruments relating to the vacation of land impressed with a public use;
 7. Conveyances made to correct descriptions in prior conveyances;
 8. The sale or exchange of parcels or tracts of land following the division into no more than 2 parts of a particular parcel or tract of land existing on July 17, 1959 and not involving any new streets or easements of access;
 9. The sale is of a single lot of less than 5 acres from a larger tract when a survey is made by an Illinois Registered Land Surveyor; provided, that this exemption shall not apply to the sale of any subsequent lots from the same larger tract of land, as determined by the dimensions and configuration of the larger tract on October 1, 1973, and provided also that this exemption does not invalidate any local requirements applicable to the subdivision of land.

AFFIANT further states that he makes this affidavit for the purpose of inducing the Recorder of Kane County, Illinois, to accept the attached deed for recording.

SUBSCRIBED AND SWORN TO BEFORE ME
this 22 day of July, 2019.

Signature of Notary Public


Richard B. Porter

